



# Rezoning Analysis-Report to City Council

Case No. M-2009-12

**Meeting Date:** August 24, 2009  
**Staff Contact:** Eric S. Hawkins, AICP, Planner III

## SITE INFORMATION

**Petitioner/Owner:** Benson Morgan Co. (Alex Haefele)  
Rock Hill, SC  
803.328.1660

**Existing Zoning:** Residential Development District I (RD-I)

**Requested Zoning:** Single-family Residential-5 (SF-5)

**Proposed Use:** Single-family residential.

**Location:** 1558 Coatsworth Lane

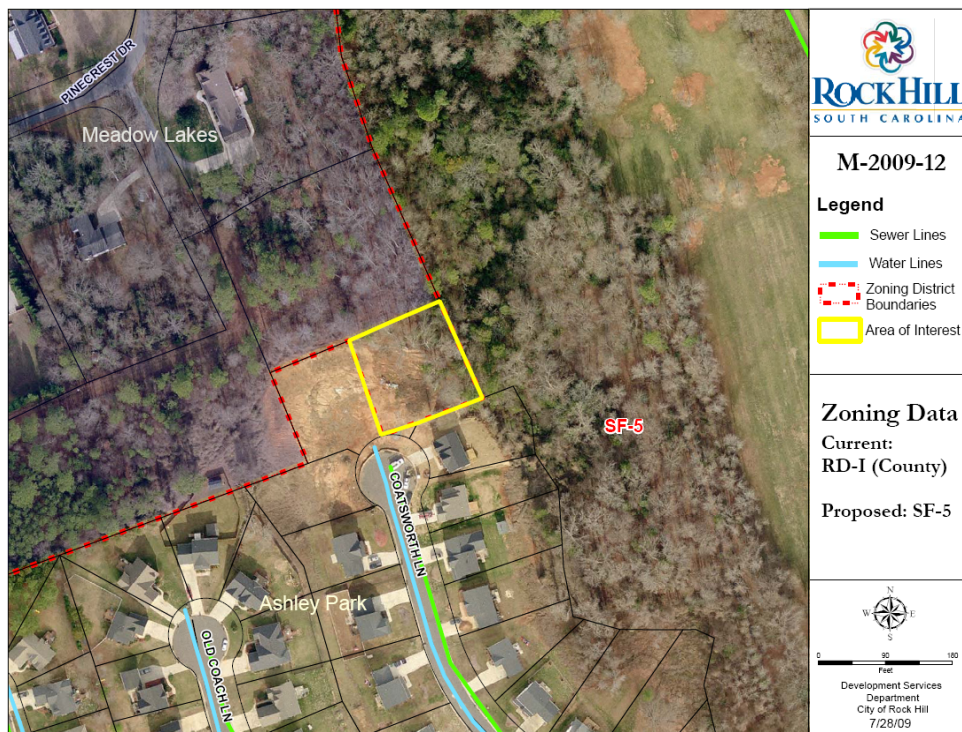
**Tax Parcel:** 538-00-00-110 (portion)

**Acreage:** Approx. 0.41 acres. NOTE: The applicant originally applied for annexation and rezoning of a larger parcel totaling 1.85 acres. This parcel has since been approved for subdivision by York County, creating the 0.41 acre parcel now proposed for annexation and a 1.44 acre parcel that will remain in the County. Applications may be reduced in scope without restarting the process.

## LAND USE ANALYSIS

### Existing Land Use Character

The subject property is located on the west side of the City at the end of Coatsworth Lane. Surrounding uses include single-family residential and undeveloped property.



## **Summary of Existing and Proposed Zoning Districts**

### Existing Zoning

**Residential Development District I (RD-I)**- Permitted uses include single-family dwellings, schools, horticulture and some agricultural interests, neighborhood and community parks, churches, duplexes, multi-plexes, child care centers, and nursing homes.

### Proposed Zoning

**Single-Family Residential-5 (SF-5)**- The SF-5 district is established as a district in which the principal use of land is single-family detached dwellings, with two- to four-family dwellings permitted as special exception uses. The regulations of this district are intended to encourage diverse functioning neighborhoods which include various types of residential development, limited neighborhood-serving non-residential uses, and customary complementary uses. Complementary uses customarily found in residential zone districts, such as community facilities, religious institutions, parks and playgrounds, elementary schools, and middle schools are also allowed. The minimum lot area for development is seven thousand five hundred (7,500) square feet and the maximum residential density allowed is five (5) units per acre. Live/work dwellings and upper story dwellings over a street-level non-residential use may be included at densities of eight (8) units an acre.

### **Proposed Development**

The applicant is building a single-family home on the property. Utility service for this property was approved subject to the condition that the property be annexed prior to issuance of a certificate of occupancy. Due to the property's location at the end of a street in an existing subdivision, the house was permitted in the County and the City's current design guidelines were not applied. The house is consistent in design with other houses within the Ashley Park subdivision.

## **CONFORMANCE TO PUBLIC PLANS**

### **Rock Hill Comprehensive Plan**

The City's Livable Land Use Map shows this area that this parcel has an Urban Residential land use designation. The Urban Residential classification is primarily a single-family residential land use classification intended to create high quality residential neighborhoods with a variety of housing choices. Residential development should have approximate residential densities of up to three dwelling units per acre. Higher densities may be appropriate for Conservation Subdivisions or Traditional Neighborhood Development (TND) communities. Neighborhoods in the UR community should generally allow for a mix of single-family housing types such as detached houses, attached town homes, attached patio homes, and condominiums.

### **Conclusion**

The requested zoning is generally consistent with the adopted City of Rock Hill Comprehensive Plan and Livable City Land Use Plan.

## **PUBLIC NOTIFICATION**

The following public notification actions have been taken:

- July 5 & 19- Planning Commission public hearing advertisements published in *The Herald*.

- July 17- Rezoning notification signs posted on subject property.
- July 17- Rezoning notification postcards sent to property owners within 300' of the subject property. A total of 21 postcards were sent to properties within rezoning area and surrounding areas.

### **PUBLIC FEEDBACK**

No comments received to date.

### **PUBLIC MEETINGS**

#### **Public Hearing**

A public hearing on this application was held on August 4, 2009, before the Rock Hill Planning Commission. There were no questions or comments from either the public or the applicant.

### **STAFF RECOMMENDATION**

The proposed zoning is compatible with surrounding properties and is consistent with the land use plan. Staff recommends approval of the proposed SF-5 zoning.

### **PLANNING COMMISSION RECOMMENDATION**

Following the public hearing at their August meeting, the Planning Commission voted unanimously to recommend approval of the proposed SF-5 zoning.

### **ATTACHMENTS:**

- Annexation Map
- Rezoning Map

For copies of the following attachments, see the digital version of the report on the City's website:

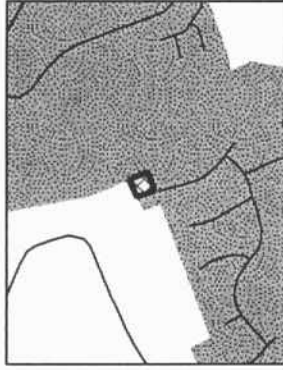
- Annexation Application
- Rezoning Application
- Public Notice Affidavits



**ROCK HILL**  
SOUTH CAROLINA  
ANNEXATION MAP

Morgan's Meadows  
Area IV

ANNEXATION TO THE  
CITY OF ROCK HILL



ZONING: SF-5  
WARD: WARD 1  
ACREAGE: .41

- City Limits
- Zoning Boundary
- Subject Property

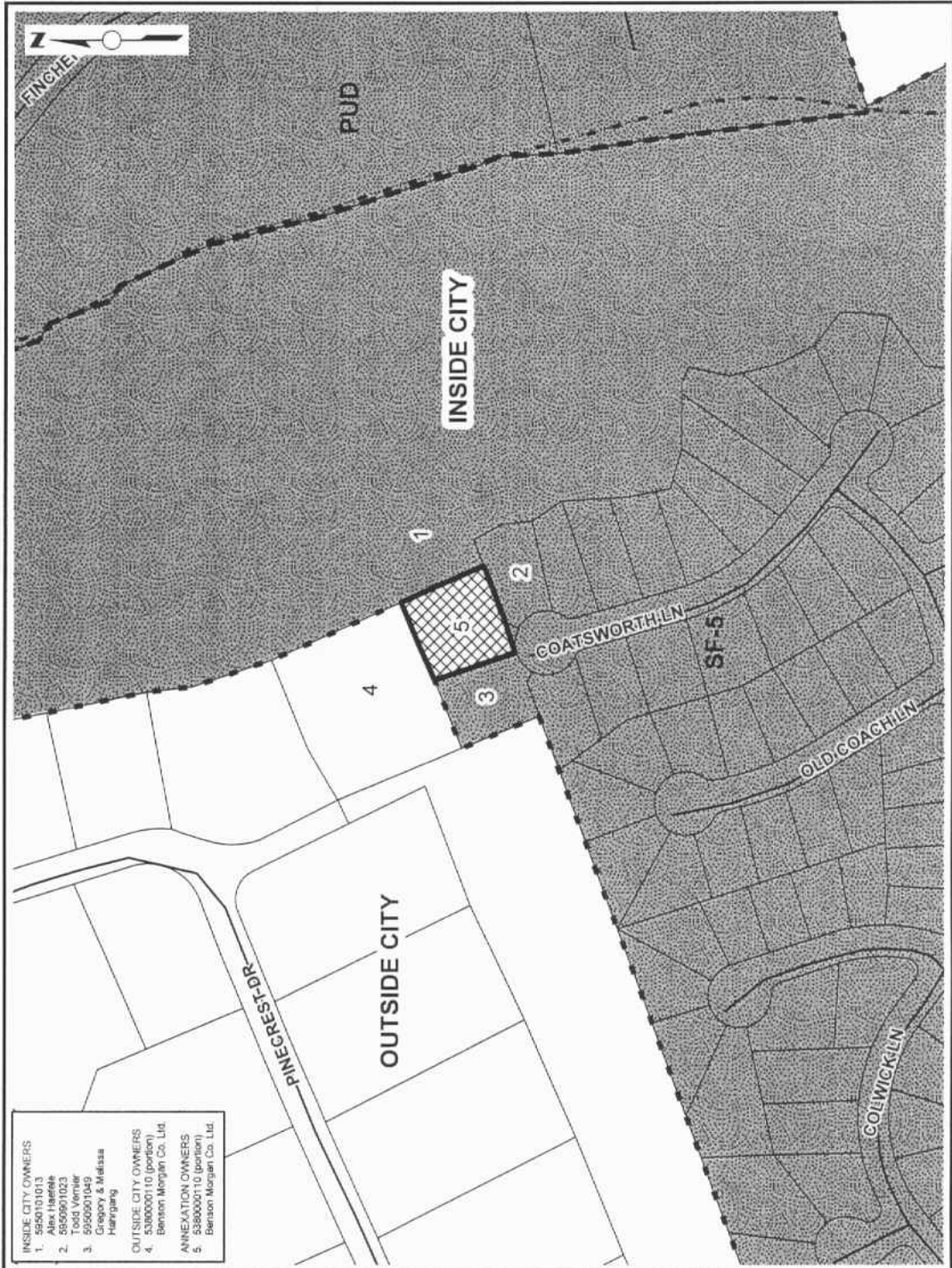


THIS MAP WAS COMPILED FROM PLATS AND  
OTHER AVAILABLE INFORMATION.  
NO ACTUAL FIELD SURVEY WAS PERFORMED.

8-15-09

DATE

GIS ADMINISTRATOR







- INSIDE CITY OWNERS**
1. 5950101033  
Arlene  
6852901023
  2. Todd Verner
  3. 595001045  
Gregory & Melissa  
Hanggang
- OUTSIDE CITY OWNERS**
4. 538000110 (portion)  
Benson Morgan Co. Ltd.
- ANNEXATION OWNERS**
5. 538000110 (portion)  
Benson Morgan Co. Ltd.



**ROCK HILL**  
SOUTH CAROLINA

**M-2009-12**

**Legend**

-  City Limit
-  Building
-  Zoning District Boundaries
-  Area of Interest

**Zoning Data**

**Current:**  
RD-I (County)

**Proposed:** SF-5



Development Services  
Department  
City of Rock Hill  
7/28/09

