

Comparison between Current and Proposed Ebenezer Village PUD Design Standards

The development standards are outlined below with the current standards shown on the left and the proposed standards shown on the right. **Notable differences are shown in red text.**

EXISTING DESIGN STANDARDS

Orientation

- i. The primary entrance of each house to be oriented toward the primary street.
- ii. Houses are arranged to the maximum extent practical to enclose and frame common open spaces. At a minimum, ten percent (10%) of all homes shall front upon common open spaces such as green or squares. These common open spaces shall contain the following features and may count towards satisfying the open space requirements described in section (XIV)(i) of these PUD standards:
 1. Benches or other seating areas
 2. Pedestrian scaled lighting
 3. Gazebos or other decorative structures

Thirteen percent of the units in this development will front the common open spaces, satisfying this requirement.

PROPOSED DESIGN STANDARDS

Orientation of Buildings to Streets and Open Space

1. All single-family detached dwellings shall be oriented so that the primary entrance faces the street. In the case of corner lots, the primary entrance shall face the street from which the dwelling is addressed.
2. As depicted in Figure 6-800(B)(1), *Fronting Open Space*, where a commonly held open space set-aside is part of the development, at least ten percent (10%) of all single-family detached dwellings shall front upon a street located adjacent to the open space set-aside. Such open space set-aside area shall have a minimum width and depth of at least forty (40) feet, not including right-of-way. Nothing in this subsection shall prohibit the open-space set-aside from being located between a pair of one (1) -way streets. This percentage may be reduced the opportunities to front appropriately designed common open spaces have been maximized, but this percentage can not be reasonably met.



FIGURE 6-800(B)(1): FRONTING OPEN SPACE

3. To the extent practicable, streets and single-family detached dwellings should be arranged to frame a substantial portion of the open space set-aside as indicated in Figure 6-800(B)(2), *Framing Open Space*.

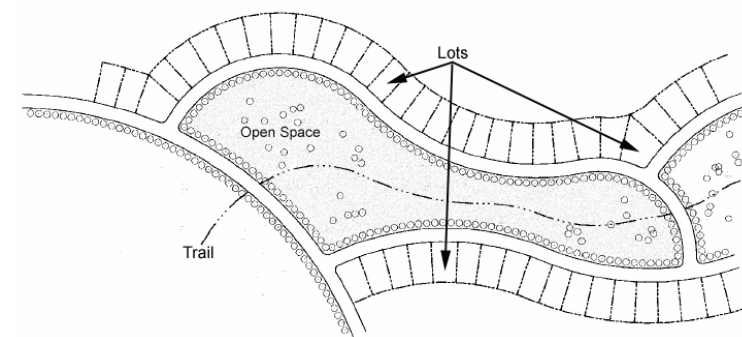


FIGURE 6-800(B)(2): FRAMING OPEN SPACE

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EXISTING DESIGN STANDARDS

Garage Location

Except for garages set back from the right-of-way at least fifty (50) feet, and located on lots with a minimum lot size of one (1) acre or greater, garages shall be located so as to comply with the following standards.

- i. Street Facing Garages
 - a. Except as allowed on lots with difficult topography or unique existing natural features, no street-facing garage shall be located closer than two (2) feet behind the primary front façade of the single-family structure it serves;
 - b. A minimum of 30% of garages shall be 18' behind the front façade, side facing, or rear facing.
 - c. Any garage that is located less than eighteen feet behind the front façade of the single-family structure it serves shall include a minimum of at least two architectural features on the side including the garage door(s) (i.e. trellis, columns flanking doors, portico treatment, windows, dormers, overhangs, eaves, roof line changes, decorative vent covers, moldings, etc.)
- ii. Side-facing garages

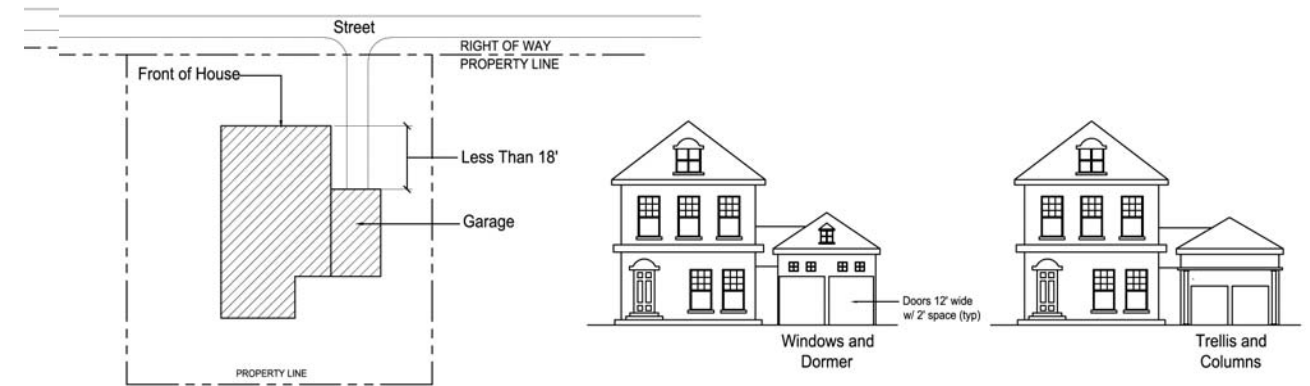
Side-facing garages shall be oriented so that the vehicular entry into the garage structure is generally perpendicular to the street providing access to the lot.
- iii. Lots with difficult topography or unique existing natural features
 - a. The lots in each development phase are not subject to mass grading;
 - b. There is a difference in elevation of eight (8) feet or more between the crown of the street fronting the lot and the lot's elevation at the rear wall of the garage;
 - c. The location of the proposed street-facing garage varies from the locations of a street facing garage on an adjacent or facing dwelling by at least six feet; and
 - d. The applicant submits a Site Plan for review and approval by the Director of Development Services that illustrates a design compatible with the existing topography, drainage, tree cover, and other natural features of the lot.

PROPOSED DESIGN STANDARDS

Garage Location

Except for garages setback from the right-of-way at least fifty (50) feet, and located on lots with a minimum lot size of one (1) acre or greater, garages shall be located so as to comply with the following standards as shown in Figure 6-800(B)(3):

FIGURE 6-800(B)(3): STREET FACING GARAGE DESIGN



1. Street Facing Garages

- a. Except as allowed on lots with difficult topography or unique existing natural features, no street-facing garage shall be located closer than two (2) feet behind the primary front façade (conditioned space) of the single-family structure it serves;
- b. Any garage that is located less than eighteen (18) feet behind the front façade of the single-family structure it serves shall include a minimum of at least two (2) architectural features on the side including the garage door(s) (i.e. trellis, columns flanking doors, portico treatment, windows, dormers, overhangs, eaves, roof line changes, decorative vent covers, molding, etc.).

2. Side-Facing Garages

Side-facing garages shall be oriented so that the vehicular entry into the garage structure is generally perpendicular to the street providing access to the lot.



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EXISTING DESIGN STANDARDS

PROPOSED DESIGN STANDARDS

3. Lots Less than Fifty-Five Feet Wide

Except for garages on lots located on cul-de-sac streets, garages on lots located on a block face with an average lot width of fifty five (55) feet or less shall be rear-facing garages accessed from alleys. An alternative garage pattern and means of access that maintains an urban scale may be approved by the Planning Commission at the time of Preliminary Plat approval based on site constraints or a unique design proposal.

4. Lots With Difficult Topography or Unique Existing Natural Features

Street-facing garages on lots with difficult topography or unique existing natural features shall not be required to comply with the standards in Section 6-800(B)(2)(f)(1)(a) provided:

- a. The applicant submits a Site Plan for review and approval by the Director of Development Services that identifies the topographic hardship, and
- b. The site plan illustrates a design compatible with the existing topography, drainage, tree cover, and other natural features of the lot.

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EXISTING DESIGN STANDARDS

Car Port Location

Car ports shall be located behind the dwelling's front façade as determined by the front façade plane located closest to the street.

Garage and Car Port Design

Except for garages and carports set back from the right-of-way at least fifty feet, and located on lots with a minimum lot size of one acre or greater, garages and car ports shall comply with the following standards:

- i. Façade Size
 - a. Except for street-facing garages located eighteen feet or more behind the front façade of the dwelling they serve, street-facing garage and car port facades shall not exceed forty-five percent of the total area of the front face elevation of the dwelling as measured from the ground level to the eave of the roof. In the case of car ports, the perimeter of the carport façade shall define the area measured.
 - b. Side-facing garage and car port facades shall not exceed fifty percent of the total area of the front façade elevation of the dwelling, as measured from the ground level to the eave of the roof. In the case of car port, the perimeter of the carport façade shall define the area measured.
- ii. Garage Doors
Individual garage doors fronting a street and visible from a street shall not exceed twelve feet in width per door. **A maximum of two doors may front the street** and be visible from the street for each dwelling, and a **minimum separation of at least two feet shall be provided between the doors.**
- iii. Compatibility
The exterior materials, design features, and roof form of garages and car ports shall be compatible with the building it serves.
- iv. Details
Attached side facing garages shall have architectural details and windows that mimic the features of the living portion of the dwelling on the side of the garage.

Materials

- i. Metal siding and exposed smooth-finish concreted block is prohibited for all building elevations.
- ii. Synthetic stucco (EIFS) may only be used at a point two feet or higher above the exterior grade level to limit its exposure to ground level wear and tear. It may also not be used within two feet of any exterior door jamb.
- iii. Vinyl siding may not comprise over 50% of the materials used on street-facing facades within any one street block face. This requirement applies to each street block face in composite, rather than individual buildings.

PROPOSED DESIGN STANDARDS

Car Port Location

Car ports shall be located behind the dwelling's front facade as determined by the front facade plane located closest to the street. A carport is not considered side-loaded unless the façade facing the street is more than 65% enclosed.

Garage and Car Port Design

Except for garages and carports setback from the right-of-way at least fifty (50) feet, and located on lots with a minimum lot size of one (1) acre or greater, garages and car ports shall comply with the following standards:

1. Façade Size
Except for street-facing garages located eighteen (18) feet or more behind the front façade of the dwelling they serve, street-facing garage and car port façades shall not exceed forty-five percent (45%) of the total area of the front façade elevation of the dwelling, as measured from the ground level to the eave of the roof. In the case of car ports, the perimeter of the carport facade shall define the area measured. Facades of conditioned living space located above the garage are not to be included in the garage façade area calculation.
2. Garage Doors
Individual garage doors fronting a street and visible from a street shall not exceed twelve (12) feet in width per door. **A maximum of three (3) doors may front the street** and be visible from the street for each dwelling, and a **minimum separation of at least one (1) foot shall be provided between the doors. A wider decorative garage door with additional detailing such as windows, trim, and hardware, and which visually simulates double doors, may be approved.**
3. Compatibility
The exterior materials, design features, and roof form of garages and car ports shall be compatible with the building it serves.
4. Details
Attached side facing garages shall have architectural details and windows that mimic the features of the living portion of the dwelling on the side of the garage facing the street.

Building Materials

1. The following materials shall be prohibited:
 - a. Metal siding and exposed smooth-finished concrete block for all building elevations; and
 - b. Synthetic stucco (EIFS) within two (2) feet of the grade level and within two (2) feet of any exterior door jamb.
2. **Front facades shall have a minimum of fifty percent brick, stone or stucco detailing, except when a specific architectural style (i.e. Cape Cod, etc.) suggests that full siding coverage is appropriate. When such exceptions are made, the front façade area on a single block face shall not exceed fifty percent (50%) vinyl or other lap siding.**

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EXISTING DESIGN STANDARDS

Foundation

- i. For front setbacks greater than ten feet, the finished first floor elevation shall be a minimum of eighteen inches above finished grade.
- ii. For front setbacks ten feet or less, the finished first floor elevation shall be a minimum of twenty-four inches above finished grade.
- iii. The exterior material of all foundations shall be face brick or stone.

Massing

Front facades exceeding forty feet incorporate wall offsets at least two feet deep measured perpendicular to the front façade, so that no single wall surface exceeds a width of twenty-five feet.

Plans

Developments use an appropriate number of distinctly different house plans based upon its scale and characteristics (but no less than four), within any phase of development where single-family detached dwellings are located, with **no home model elevation repeated more than once every four lots on the same side of a street.** “Distinctly different” means differing from another home model elevation in at least four of the following areas:

- i. the placement of all windows and doors on the front façade elevation with at least a two foot vertical or horizontal variation in size and location.
- ii. The use of different materials on the front façade.
- iii. Substantial variation in the location and/or proportion of garages and garage doors.
- iv. The width of the front façade by more than two feet.
- v. The location and proportion of front porches.
- vi. Substantial variation in roof lines or pitched and/or in the angle of roof runs.
- vii. Use of roof dormers.

Mirror images of the same plan do not constitute distinctly different plans.

PROPOSED DESIGN STANDARDS

Building Foundations

1. Except for Assisted Living Facilities, Nursing Homes, and structures designed or intended for occupation by persons with physical disabilities, the finished floor elevation at the front facade shall be located above grade in accordance with the following standards:
 - a. For setbacks of ten (10) feet or more, the foundation supporting the floor framing on the front facade shall be a minimum of (eighteen) 18 inches above grade; and
 - b. For setbacks of less than ten (10) feet, the foundation supporting the floor framing on the front facade shall be a minimum of twenty-four (24) inches above grade.
2. Exposed foundation walls or piers shall be clad in face brick, stone, stucco, or some other masonry material accurately imitating these materials. Latticework screening shall be installed between piers on front and side building facades.
3. Nothing in this subsection shall prevent the use of slab foundations, provided the slab is clad in the materials required in subsection (2), and extends to the minimum height above grade specified in subsection (1) above.

Design of Front Façades (Comparable to “Massing” in Existing Design Standards)

1. All single-family detached dwellings with front façade widths of forty (40) feet or more shall incorporate wall offsets in the form of projections and/or recesses in the façade plane. Offsets shall have a minimum depth of two (2) feet, so that no single wall plane exceeds twenty-five (25) feet in width.
2. **The provision of a front porch in accordance with Section 6-800(B)(2)(c), Front Porches may serve as an alternative to the wall offsets required in Section 6-800(B)(2)(b)(1).**

Architectural Variability (Comparable to “Plans” in Existing Design Standards)

1. For all development involving four (4) or more contiguous lots, there shall be multiple distinctly different house front facade designs within any single phase of the development. **Any given house façade must be distinctly different than those of the two lots on either side, and the house most directly across the street.**
2. “Distinctly different” shall be defined to mean that a single-family detached dwelling’s elevation must differ from the other evaluated house elevations in at least three (3) of the following four (4) ways:
 - a. The use of different surface materials;
 - b. Variations in rooflines, pitches, or the use of dormers;
 - c. Variation in the location and/or proportion of front porches; or
 - d. Variation in the location and/or proportion of garages and garage doors.
3. At least 30% of the houses in a development phase shall have garages at least 18 feet behind the front façade, or side-loaded or rear-loaded garages.

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EXISTING DESIGN STANDARDS

PROPOSED DESIGN STANDARDS

Additional standards that will apply that are not covered by the existing PUD:

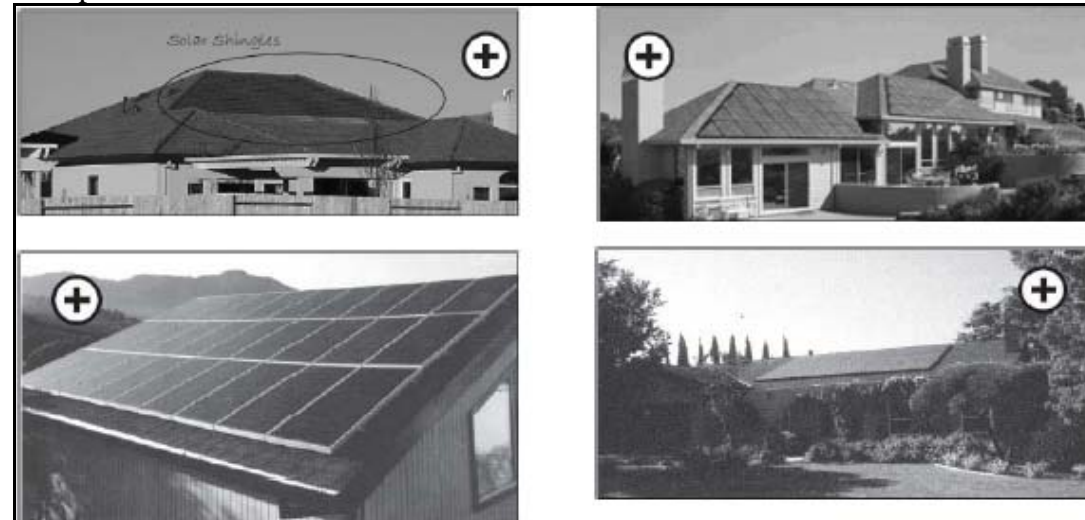
Front Porches

If a block face contains two (2) or more lots with a front setback of twenty-five (25) feet or less, a minimum of fifty percent (50%) of the dwellings on such lots shall include a front porch with a minimum depth of six (6) feet, and a minimum width of eight (8) feet.

Roof Penetrations and Equipment

All roof vents, pipes, antennas, satellite dishes, solar installations, and other roof penetrations and equipment (except chimneys), shall be located on the rear elevations or otherwise configured to the degree practicable to have a minimal visual impact as seen from the street. Solar installations that are visible from the street must be either composed of building-integrated components (such as solar shingles) that are not readily evident or be designed and mounted to match the shape, proportions, and slope of the roof. See below examples of acceptable and unacceptable visible residential solar installations.

Acceptable:



Unacceptable:

